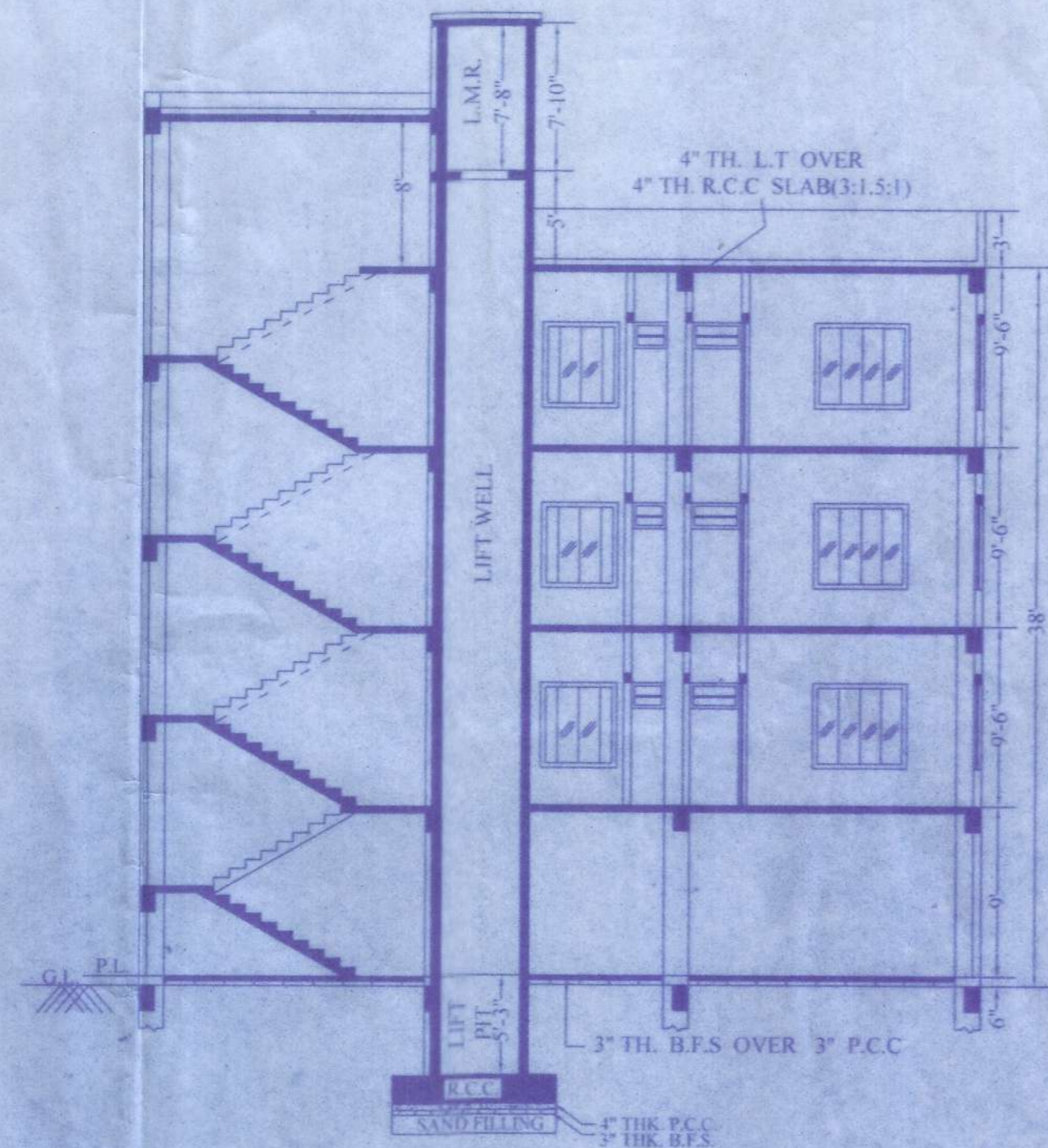
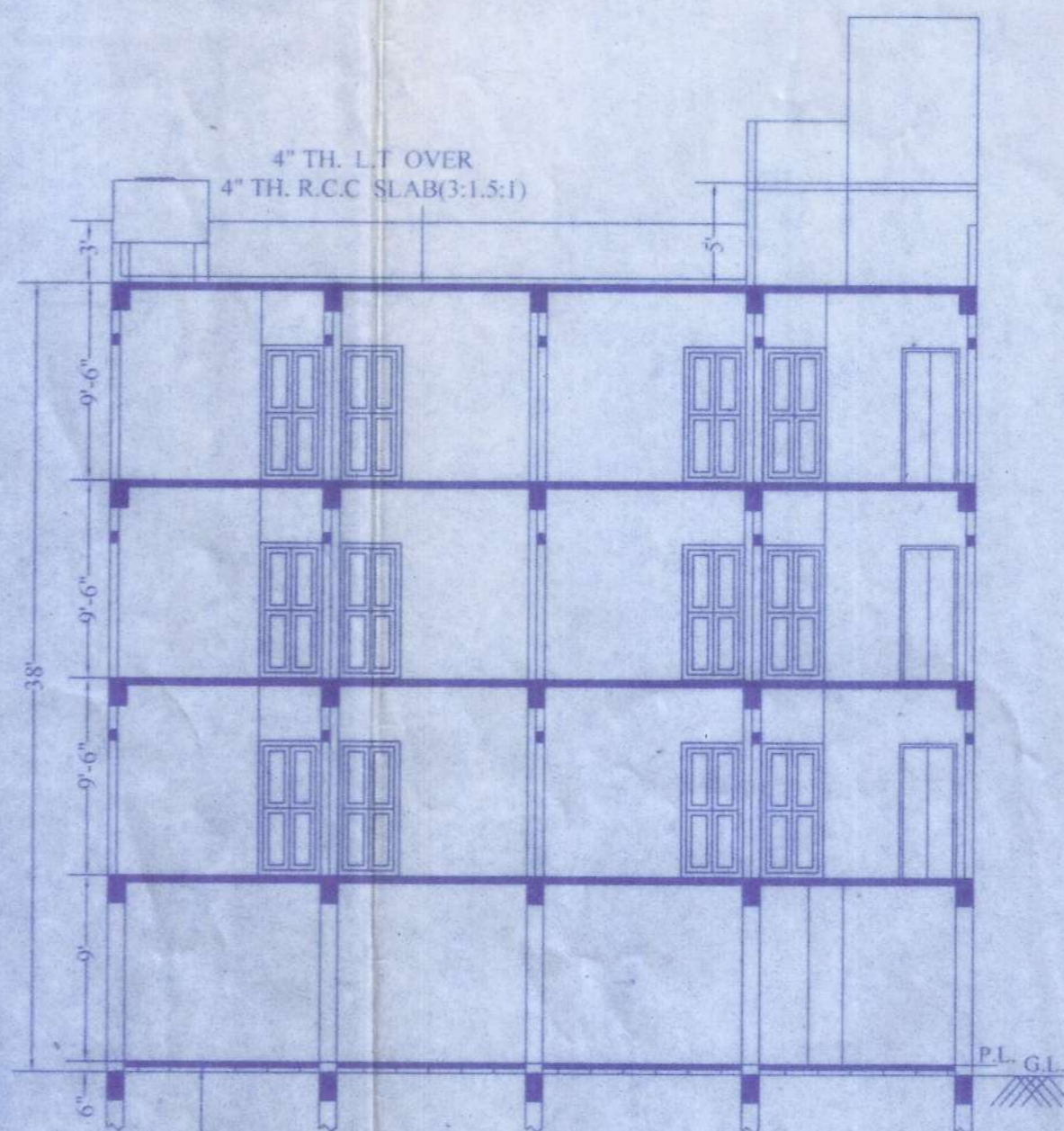


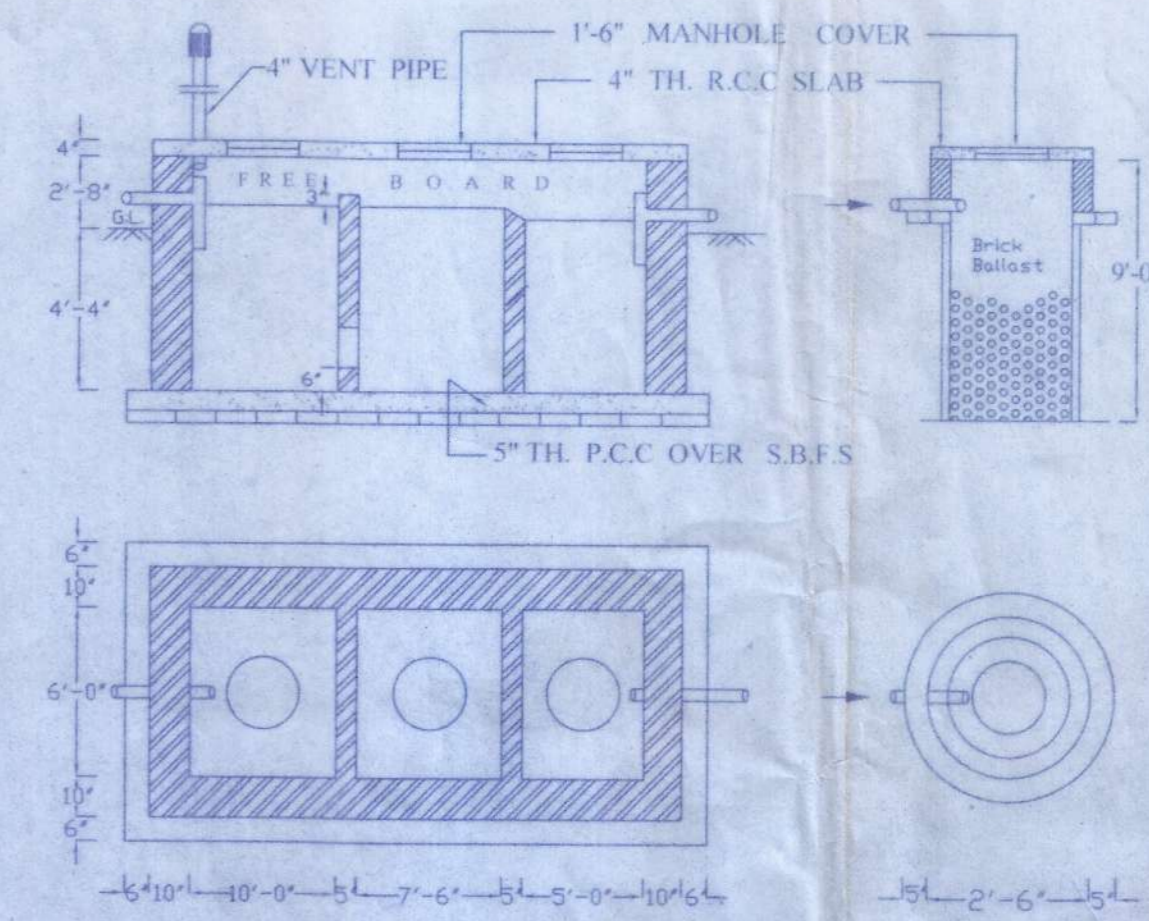
**FRONT ELEVATION**  
SCALE: 1"= 8'-0"



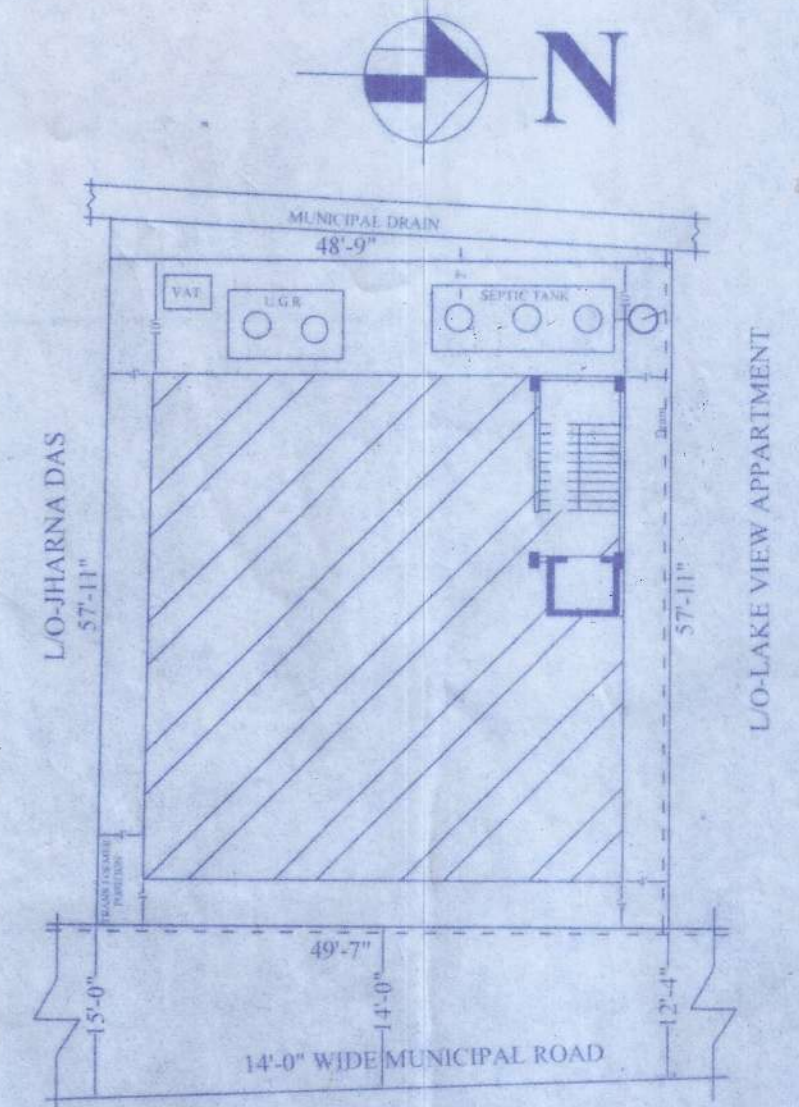
**SECTION AT- "A-B"**  
SCALE: 1"= 8'-0"



**SECTION AT- "C-D"**  
SCALE: 1"= 8'-0"

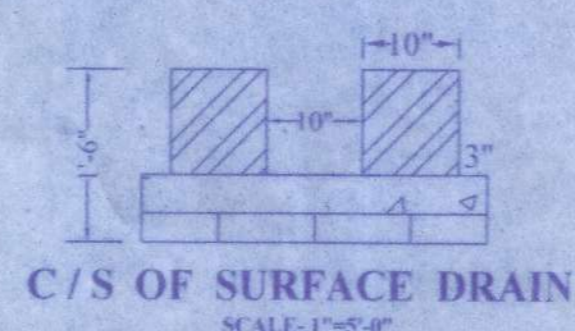


**DETAILS OF SEPTIC TANK & SOAK PIT.**  
SCALE: 1"=4'-0"

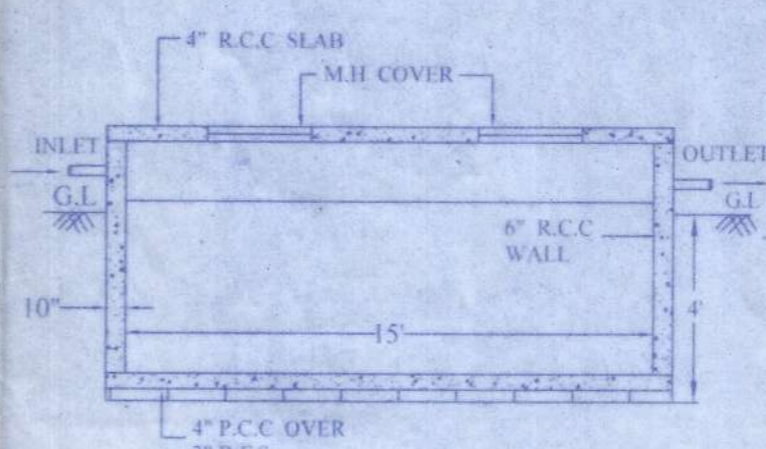


**SITE PLAN**  
SCALE: 1"= 16'-0"

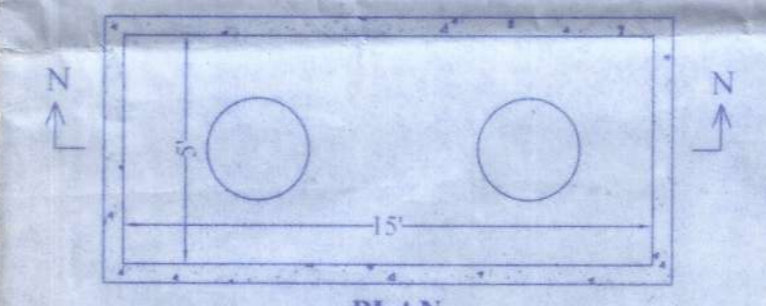
SCHEDULE OF DOOR'S & WINDOW'S	
D'- 3'-6" X 6'-6"	W- 5'-0" X 4'-6"
D- 3'-0" X 6'-6"	W1- 4'-0" X 4'-6"
D1- 2'-6" X 6'-6"	V- 2'-0" X 1'-6"



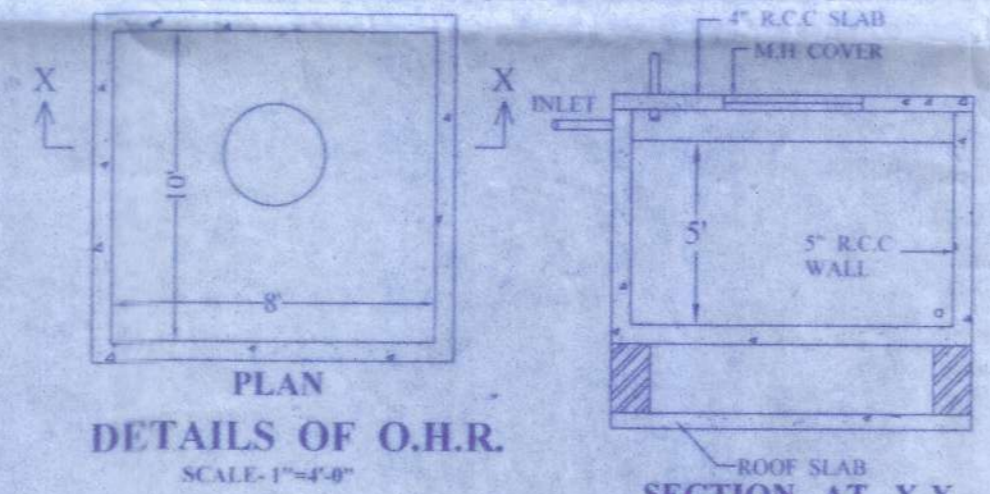
**C/S OF SURFACE DRAIN**  
SCALE: 1"=5'-0"



**SECTION AT N-N**



**DETAILS OF U.G.R.**  
SCALE: 1"=4'-0"



**DETAILS OF O.H.R.**  
SCALE: 1"=4'-0"

PROPOSED G+3 STORED RESIDENTIAL CUM COMMERCIAL BUILDING PLAN OF 1) SMT. PURABI ROY PALADHI, W/O-LT. PRANAB ROY PALADHI, 2) SRI PREMANKUR ROY PALADHI, S/O-LT. PRANAB ROY PALADHI 3) SRI PRASENJIT ROY PALADHI, S/O-LT. PRANAB ROY PALADHI, 4) SMT. NANDITA ROY PALADHI, W/O- LT. PRASUN KUMAR ROY PALADHI, 5) SMT. PARAMITA ROY PALADHI, W/O- SRI SHARATH KUMAR REDDY PEDDY REDDY & D/O- LT. PRASUN KUMAR ROY PALADHI, 6) SMT. MADHUMITA ROY PALADHI, W/O- SRI SUDEV NASKAR & D/O- LT. PRASUN KUMAR ROY PALADHI AT MOUZA- NAPARA, J.L. NO.- 83, RE. SA. NO.-137, TOUZI NO.-146, C.S. DAG NO. -1117, UNDER C.S. KHATIAN NO. - 272, 275 & 354 UNDER R.S.&L.R DAG NO. -1981, UNDER R.S. KHATIAN NO.- 1381 CORRESPONDING TO L.R. KHATIAN NO.- 1196, OWN L.R. KHATIAN NO.- 5123, 5124, 5125, 5126, 5127, 5128, PARGANA-ANOWARPUR, P.S. & MUNICIPALITY- BARASAT, WARD NO.-26(OLD), 5(NEW), HOLDING NO.-29, PREMISES AT SAROJINIPALLY (N.D.P.-1) , DIST.- 24 PGS (N). KOLKATA- 700126,

**AREA STATEMENT**

TOTAL LAND AREA = 04 KH.- 00 CH.- 0 SFT (As per Deed)  
 TOTAL LAND AREA = 6.53 DEC. (AS PER PORCHA)  
 TOTAL LAND AREA = 6.53 DEC. (Physically)  
 GROUND FLOOR COVERED AREA = 1810 SFT.  
 CARPARKING AREA = 1650 SFT.  
 STAIR+LIFT AREA = 160 SFT.  
 1ST. FLOOR COVERED AREA = 1810 SFT.  
 2ND. FLOOR COVERED AREA = 1810 SFT.  
 3RD. FLOOR COVERED AREA = 1810 SFT.

**OWNERS DECLARATION**  
 I/WE HEREBY DECLARE THAT WE ARE THE OWNERS/LESSEES OF THE PROPERTY TO BE BUILT UPON AND THE COPY OF THE REGISTERED DEED OF THE LAND OR OTHER DOCUMENTS IN SUPPORT OF OWNERSHIP/LEASES OF LAND ARE SUBMITTED HEREWITH. THAT THE ABOVE SAID PLOT OF LAND IS THE ONLY PLOT OF VACANT LAND HELD BY ME/US IN ANY OF THE URBAN AGENCIES COVERED UNDER THE URBAN LAND (CEILING AND REGULATION) ACT, 1976 AND THAT EXTENT OF THAT PLOT IS WITHIN THE CEILING LIMIT ON VACANT LAND IMPOSED BY THE SAID ACT.

**CONSULTANT DECLARATION**  
 CERTIFIED THAT I HAVE BEEN ENGAGED AS LICENSED BUILDING SURVEYOR FOR THE PROPOSED BUILDING AT THIS PREMISES BY THE OWNERS/LESSEES FOR PLANNING, DESIGNING, SUPERVISION & COMPLETION OF THE WORK AS PER BARASAT MUNICIPALITY (BUILDING) RULES. I WILL BE INDIVIDUALLY RESPONSIBLE FOR ENSURING THE SAFETY OF THE BUILDING AS A WHOLE.  
 CERTIFIED THAT THE PLAN HAS BEEN DESIGNED, DRAWN UP STRICTLY ACCORDING TO THE RULES OF BARASAT MUNICIPALITY. CERTIFIED THAT THE FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAVE BEEN SO DESIGNED BY ME/US AS TO BE SAFE IN ALL RESPECT INCLUDING THE CONSIDERATION OF THE BEARING CAPACITY AND SETTLEMENT OF SOIL.

**SRIJANI**  
 Saptaparna Das  
 Proprietor  
 SMT. SAPTAPARNA DAS  
 (CONSTITUENT POWER OF ATTORNEY HOLDER OF  
 1) SMT. PURABI ROY PALADHI, 2) SRI PREMANKUR ROY PALADHI,  
 3) SRI PRASENJIT ROY PALADHI, 4) SMT. NANDITA ROY PALADHI,  
 5) SMT. PARAMITA ROY PALADHI, 6) SMT. MADHUMITA ROY PALADHI)

**Arbab Kumar Das**  
 B.E. (CIVIL), M. Tech. (Structure), M.L.E.  
 Consultant Civil & Structural Engineer  
 3/A, N.D.P.-1, Sarojini Pally, Barasat, Kolkata-128  
 Licence No.- BM/B-088/L.D.S.-1

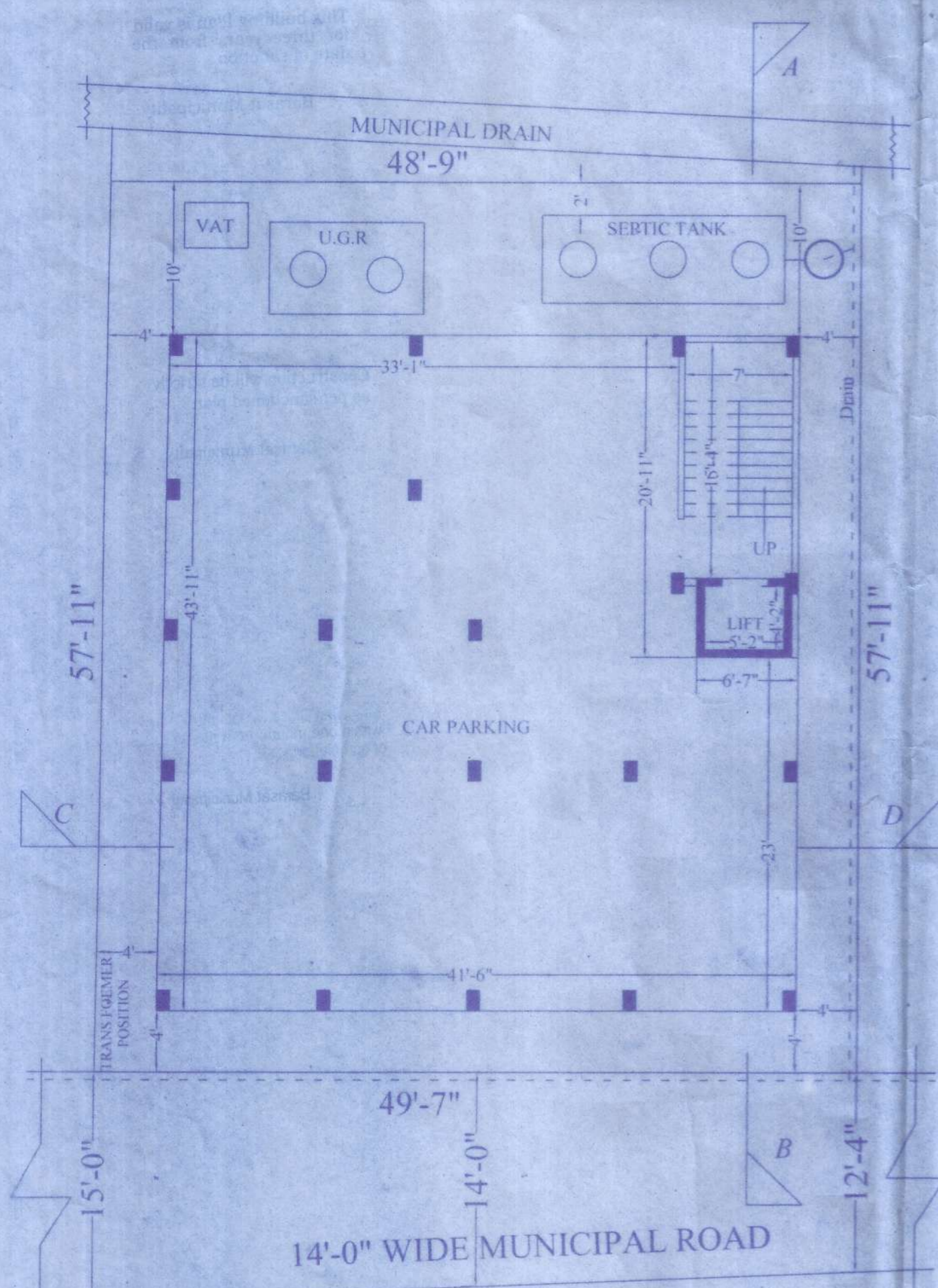
**SIGN. OF OWNERS**

**SIGN. OF L.B.S.**

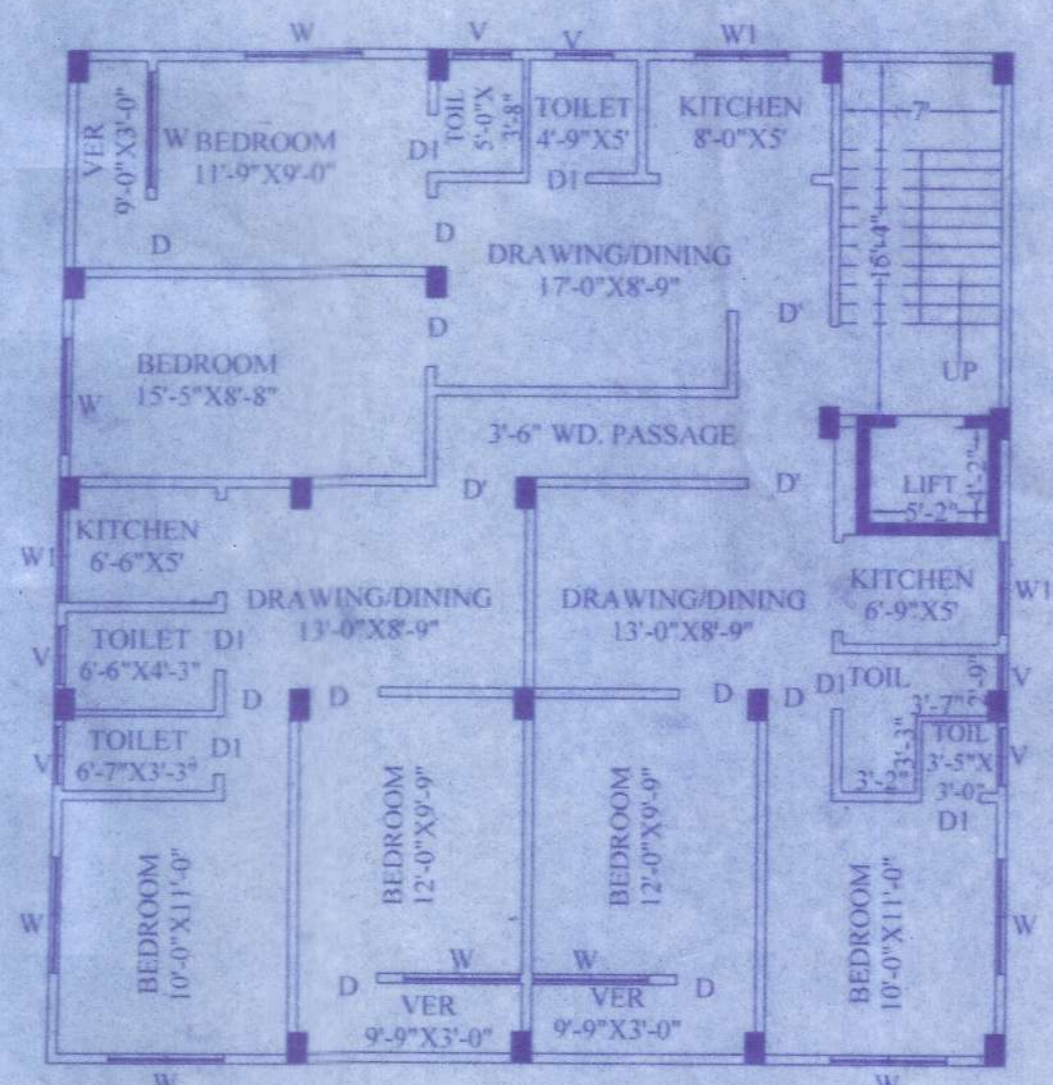
**Rupak Kumar Banerjee**  
 B.C.E., M.E., MGS  
 M.L.E., CHARTERED ENGINEER  
 L.B.S.-I, E.S.E.-I, C.T.-I (K.M.C.)  
 G.T./S (C.M.C.)  
 ENLISTED GEO-TECHNICAL ENGINEER (NKOAA)  
 RAJPUR-SONARPUR MUNICIPALITY  
 GTER-HIDCO/03/00014  
 012/RUP SON/G.T.2014-15

**SIGN. OF GEOTECHNICAL ENGINEER**

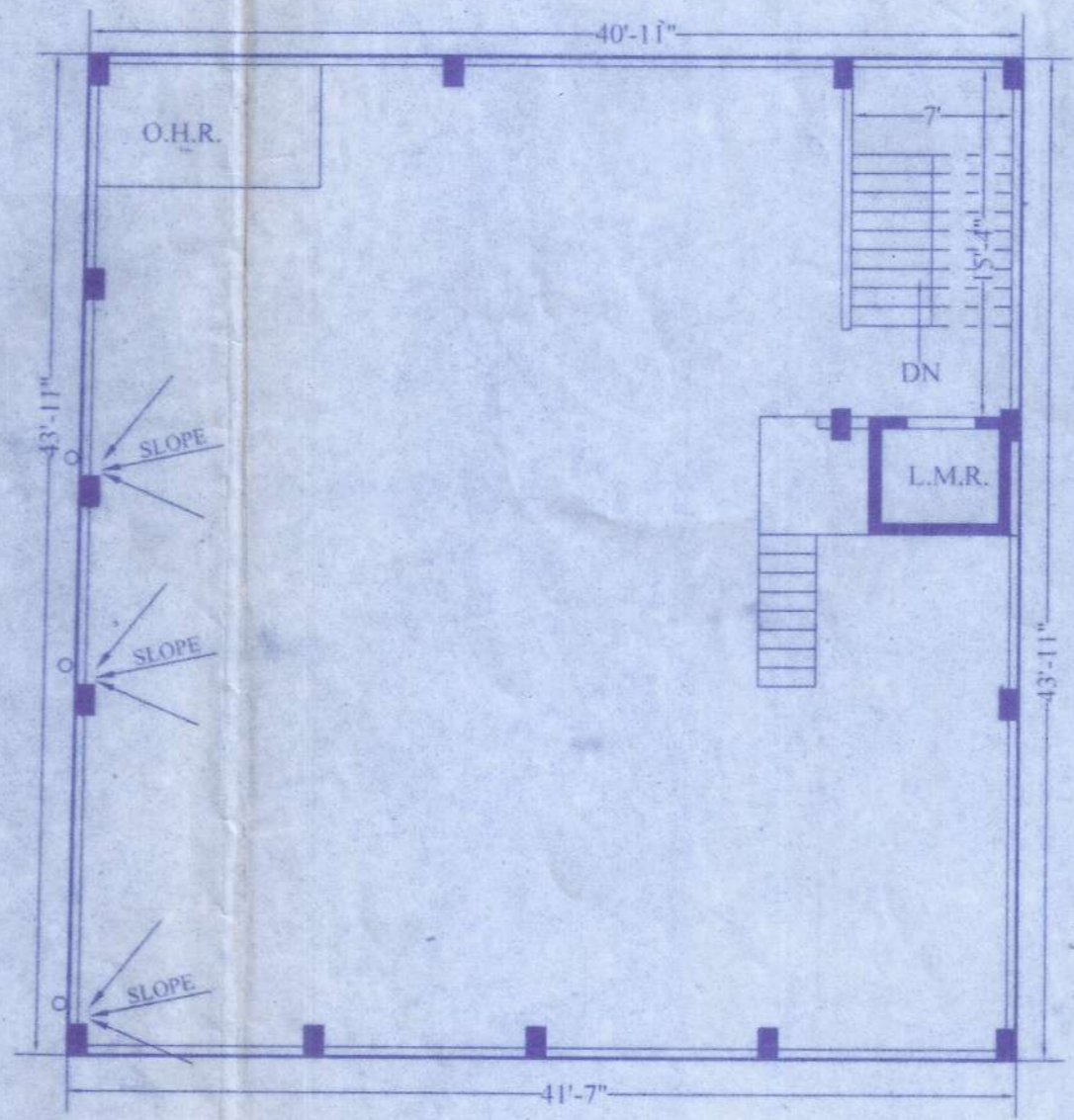
**Executive Officer**  
 Barasat Municipality



**GROUND FLOOR PLAN**  
SCALE: 1"= 8'-0"



**TYPICAL FLOOR PLAN (1ST, 2ND & 3RD)**  
SCALE: 1"= 8'-0"



**ROOF PLAN**  
SCALE: 1"= 8'-0"

**OFFICE USE**

Sanction Serial No. 1876

Building Plan Sanctioned  
 Meeting Date 14.08.2023



Sanctioned / approved  
 Chairman  
 Barasat Municipality